

Design Guidelines Handbook 4
Beachfront North



Long Branch Redevelopment Plan
Long Branch, New Jersey

Proposed Zoning

1. Pre-Existing Non-Conforming Structures Stay Grandfathered

Existing structures that do not meet current codes or guidelines requirements for use, building footprint, pervious coverage, bulk, or parking may remain in their current configurations as pre-existing, non-conforming structures.

2. Additions/ Alterations to Pre-Existing Non-Conforming Structures

Alterations to existing non-conforming buildings will be allowed if:

- New construction must be in compliance with the building code.
- No additional units may be constructed.
- Pervious coverage requirements (15% minimum) per the Beachfront North Design Guidelines Handbook 4 must be met.
- Additions must comply with *Chapter 345 ZONING / ARTICLE III, General Regulations / § 345-10. Permitted modifications and exceptions; Items A, B, C, E, F, H.*

3. Rebuild Within Historic Footprint

Rebuilding of existing non-conforming buildings will be allowed provided:

- On-site parking must be provided per the Beachfront North Design Guidelines Handbook 4.
- New construction must be in compliance with the building code.
- Pervious coverage requirements (15% minimum) per the Beachfront North Design Guidelines Handbook 4 must be met.

4. New Construction

Either condition A or B below must be met:

A. New construction or new uses on sites within the Beachfront North zone must comply with the following:

- minimum side and rear setbacks must be met as follows:
 - Minimum Side & Rear Setback: 5'-0"
 - Minimum Front Setback: 10'-0"
- Parking requirements must be provided for per the Beachfront North Design Guidelines Handbook 4.
- Pervious coverage requirements (15% minimum) per the Beachfront North Design Guidelines Handbook 4 must be met.
- New construction must be in compliance with the building code

B. Construction must be fully compliant with the Beachfront North Design Guidelines Handbook 4.

Parking - Required
Exception

EXCERPT FROM: CODE OF THE CITY OF LONG BRANCH NEW JERSEY, v30 Updated 06-15-2007

CODE OF THE CITY OF LONG BRANCH NEW JERSEY, v30 Updated 06-15-2007 /
PART II GENERAL LEGISLATION / Chapter 345, ZONING / ARTICLE III, General
Regulations / § 345-10. Permitted modifications and exceptions.

§ 345-10. Permitted modifications and exceptions.

A. Height. The height limitations of this chapter shall not apply to church spires, bellfries, cupolas and domes not used for human occupancy, nor to chimneys, ventilators, skylights, water tanks, similar features and necessary mechanical appurtenances usually carried above the roofline. Such features, however, shall be erected only to such height as is necessary to accomplish the purpose they are to serve. The provisions of this chapter shall not apply to preventing the erection above the building height limit of a parapet wall or cornice for ornament (and without windows) extending above such height limit not more than five feet. Public and quasi-public buildings, schools, churches and other similar permitted uses shall increase the front, rear and side yards by one foot for each foot by which such buildings exceed the height limit established for such zone in which they are located, and further provided that in no case shall any building have a height greater than 50 feet unless explicitly permitted by the schedules of this chapter. [Amended 4-10-2007 by Ord. No. 17-07]

(1) Finished grade. In the event that a lot or lots are to be regraded in order to increase the lot height, and as a result building height shall be increased beyond the original allowable height and no other provision of this section requires the prior approval of the same, then in that event, a variance shall be required. It is the intent of this subsection to prohibit the increase of allowable building height by means of the use of mounding, terracing or other devices without the appropriate board reviewing and approving a variance for such proposed grade changes. However, such approval shall not be required for a single-family home with an increase of lot height of 18 inches or less measured at the average perimeter of the building.

(2) In the case of existing grades with slopes, the measurement for any allowed height and/or number of stories for any proposed structures along this slope shall be calculated along a line which runs parallel to the existing slope and is measured at each point along this line, provided that no increase in height and/or number of stories shall be allowed which is greater than what each zone or use allows at the highest point of the existing or finished grade, whichever is less.

(3) In no case shall any below-grade level (basement, parking level, crawl space, etc.) be counted in the number of stories allowed on any site or for any use.

B. Irregularly shaped lots. In the case of existing irregularly shaped lots, the minimum lot width specified in the Schedules may be measured at the building line, provided that in no case shall the lot footage measured at the street right-of-way line be less than 50% of the minimum lot width requirements. The creation of any new irregularly shaped lots is prohibited.

C. Exception to front yard setback requirements. The minimum front yard setback requirements in all residential zones shall be as indicated in the zoning schedule, except for the following listed conditions. Buildings shall be located a greater or lesser distance than the minimum allowed front yard setback when the pattern of existing buildings within 200 feet of either side of the lot on the same side of the street is established at a greater or lesser distance. When this condition exists, then the mean average existing setback distance shall control.

E. Exception relating to alterations to existing nonconforming structures.

(1) Alterations, as applied to a nonconforming structure, shall only include a change or rearrangement in the structural supports or a change in the exterior appearance of a structure.

(2) A nonconforming structure may be altered, provided that the cost of alterations does not exceed, in the aggregate, 50% of the assessed value of the structure as recorded in the records of the Tax Assessor. More substantial alterations are not permitted unless the structure is changed to conform to the requirements of this chapter.

(3) A nonconforming structure may not be enlarged, extended, increased in height, width or depth or moved, relocated or modified in such a way so as to increase habitable or usable space, number of dwelling units or number of bedrooms unless such structure is changed to a structure conforming to the requirements of this chapter, except that an existing one-family structure (principal or accessory) may be enlarged, extended or added to, provided that:

(a) EN(218) The enlargement, extension or addition conforms to all yard requirements;

(b) The portion of the enlargement, extension or addition which does not conform to yard requirements consists entirely of the enclosure of existing side or rear porches; [Amended 11-25-1997 by Ord. No. 39-97]

(c) The portion of the enlargement, extension or addition which does not conform to yard requirements consists entirely of a second floor addition located above an existing first floor area or existing foundation; or [Added 11-25-1997 by Ord. No. 39-97]

(d) The proposed enlargement, extension or addition consists of an area no greater than 300 square feet, which shall be located in such a manner as to square off an irregular building layout and does not decrease the existing principal structure setback. [Added 11-25-1997 by Ord. No. 39-97]

(e) The enclosure of any front porch area shall maintain a minimum of at least 60% of the vertical surfaces as something other than solid walls. [Added 11-25-1997 by Ord. No. 39-97]

(f) All exterior finishes for any enlargement, extension or addition must be uniform and match that which is applied to the existing structure. [Added 11-25-1997 by Ord. No. 39-97]

(4) Accessory structures may not be constructed on nonconforming lots and/or on lots which contain a nonconforming principal structure unless:

(a) The lot conforms to minimum lot area requirements.

(b) A single- or two-family principal residential building exists on the lot.

(c) The new accessory structure conforms to all requirements of this chapter for accessory buildings and uses. (See § 345-11P.)

F. Finished grade. In the event that a lot or lots are to be regraded in order to increase the lot height, and as a result building height shall be increased beyond the original allowable height and no other provision of this section requires the prior approval of the same, then in that event, a site plan shall be submitted to the Planning Board of the City of Long Branch. It is the intent of this subsection to prohibit the increase of allowable building height by means of the use of mounding, terracing or other devices without the appropriate board reviewing and approving a site plan of such proposed grade changes. However, such approval shall not be required for a single-family home with an increase of lot height of 18 inches or less measured at the average perimeter of the building.

H. Exception relating to single-family dwellings. Should the enlargement, extension or addition of single-family dwellings include bedrooms as defined in § 345-3, each bedroom over four bedrooms shall require that an additional parking space be provided in an appropriate yard space as per § 345-42, and that no front yard area be used for parking in a higher percentage than 40%, and that lot coverage maximums not be exceeded. [Added 7-25-2000 by Ord. No. 25-00]



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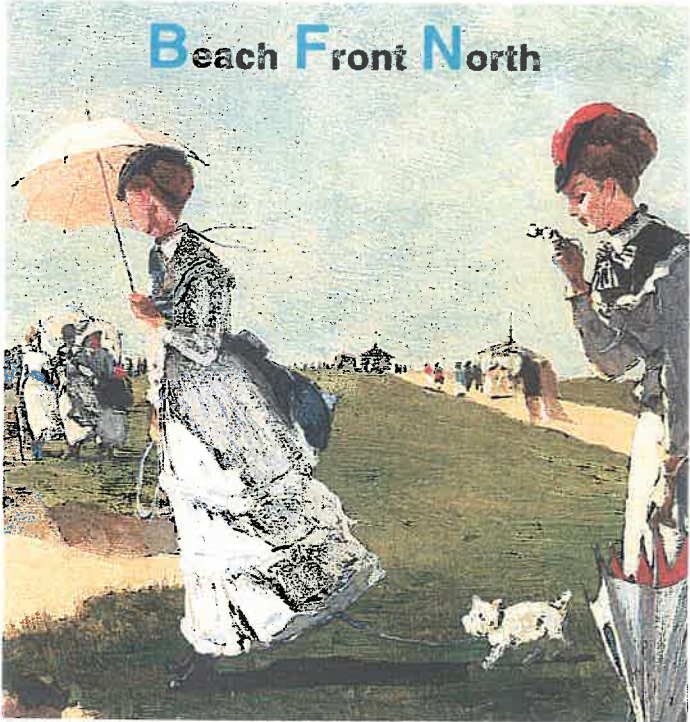
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The Hayden Collection
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Design Guidelines Handbook 4



Long Branch Redevelopment Plan
Long Branch, New Jersey

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Sector Objectives

Sandwiched between major regional destinations— Hotel Campus and the Seven Presidents Park, this sector will be composed of a Beachfront recreation area facing the promenade and a low rise, medium-density beach-side community with both infill and planned residential development opportunities.





Street-based and street-dependent development will allow the harmonious mix of visitor and neighborhood use.

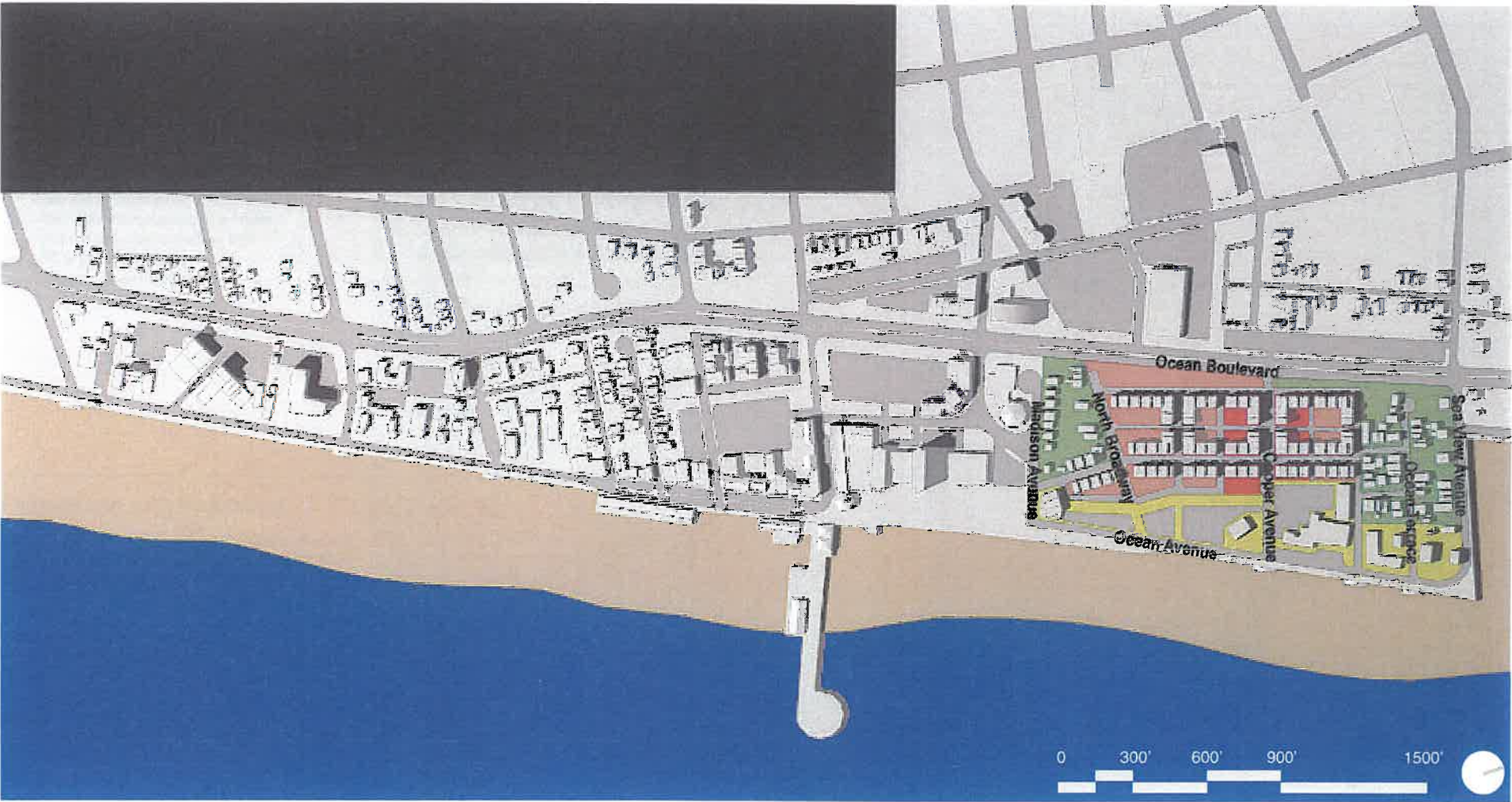
The goal for quiet residential streets is to create frequent entrances and “eyes on the street” (with transitional elements such as bay windows, porches, balconies and overhangs) that separate private and community zones. Grant Street, the existing north-south spine, is planned to be extended to connect Madison Avenue and Ocean Terrace.

Controlled vehicular access, deeded pedestrian and bike paths to the beach, permitted residential parking, combined parking and service ways in the rear or block interiors are envisaged.

All promenade fronting sites are slated for destination recreational uses, accessed by a reopened Ocean Avenue; Mixed residential with ground level commercial uses on Cooper Avenue shall draw visitors from Ocean Boulevard towards the beach.

Land Use:

-  Planned Residential
-  Infill Residential
-  Residential-Commercial mix
-  Beachfront Recreation





Tracts on Cooper Avenue frontage streets are zoned for commercial/ recreational uses while exclusively residential uses are located off residential streets, towards the interior of the block. Promenade frontage tracts are reserved for public beachfront recreational uses.

Goals

Achieved by encouraging uses that support a cohesive beach-side, year-around community. Ocean Avenue fronting sites are reserved for destination beachfront recreation that serves visitors and residents alike. This sector includes land use zones- Beachfront Recreation, Residential-Commercial Mix, Planned and Infill Residential. (Refer also to Generalized Land Use Plan, in the General Design Guidelines Handbook).



Beachfront Recreation

All Ocean Avenue fronting tracts between Madison Avenue and Sea View Avenue in this sector must not contain for any residential uses. Minimum tract area for development is 15,000 sf.

- Encourage:
 - Activity, leisure, community gatherings
- Prohibit:
 - Service stations
 - Business-related
 - Home & general fashion
 - Residential
 - Parking structures

Permitted Use

- i. Year-around eating/ drinking establishments [Gross covered area per establishment must be between 1000 sf.- 8000 sf.] such as:
 - Cafe, deli
 - Ethnic dining, meeting and catering
 - Outdoor dining
 - Pizza, ice cream, soda fountain
 - Music club
 - Restaurants, food and beverage
 - Outdoor dining
- ii. Leisure recreational and sports [Gross floor area per establishment may not exceed 15,000 sf.] such as:
 - Indoor games, health and exercise
 - Beach clubs
 - Outdoor play and games
 - Competitive or recreational sports

Accessory Use

The following uses must accompany a permitted use in this zone such that the total area of all accessory uses does not exceed 5% of the gross covered area of all permitted uses on the tract. Accessory uses must be incorporated on the same tract as the development they accompany. All additional parking requirements must be satisfied on site.

- i. Retail speciality shops
- ii. Electronic/ video apparatus
- iii. Recreation equipment and fashion
 - Bikes, surfboards, fishing, swim wear and beach wear
- iv. Outdoor toys, water toys
- v. Gift shops, books



Residential-Commercial Mix

These uses apply to Cooper Avenue fronting tracts only.

- Encourage:
 - Quiet enjoyment with amenity
 - Pedestrian activity
- Prohibit:
 - Fast food restaurants for off-premises consumption
 - Late evening uses except above mentioned
 - Automobile service station/ Auto repairs
 - Shops of gross area more than 1500 sf.
 - Offices/ commercial uses
 - Business, government-related

Permitted Use

- i. Apartments and Condominiums [Minimum permitted Gross Covered Area of a dwelling unit is 800 sf.]
- ii. Town houses [Minimum gross covered area of dwelling unit= 800 sf. Maximum lot size per unit= 3500 sf.]
- iii. Lodging, Bed-and-Breakfast [Limited to 8 guests per establishment with a stay of 1 week]
- iv. Neighborhood commercial services [Gross floor area per establishment= 500 sf. - 1500 sf.] such as:
 - Beauty care, health
 - Small food services, corner groceries
 - Travel
 - Rental and real estate



Planned and Infill Residential

This land use zone includes non-frontage street accessed sites fronting Grant Street, North Broadway, Grinker place, Ocean Terrace and Madison Avenue. The Residential zone has both infill sites and opportunities for planned development.

- Encourage:
 - A critical mass of cohesive year-around residential uses
 - Seasonal bed-and-breakfast and paying guest accommodations
- Exclude:
 - Non-accessory parking structures and parking lots

Permitted Use

- [Minimum permitted Gross Covered Area of dwelling unit is 800 sf.]
- i. Multi family conversions [Minimum lot size= 3500 sf.]
 - ii. Town houses
 - iii. Garden Apartments
 - iv. Apartments and condominiums
 - v. Lodging, bed-and-breakfast [Limited to 8 guests per establishment with a stay of 1 week]




Density and Ground Coverage



Figure-Ground Plan indicating possible build-out of major sites

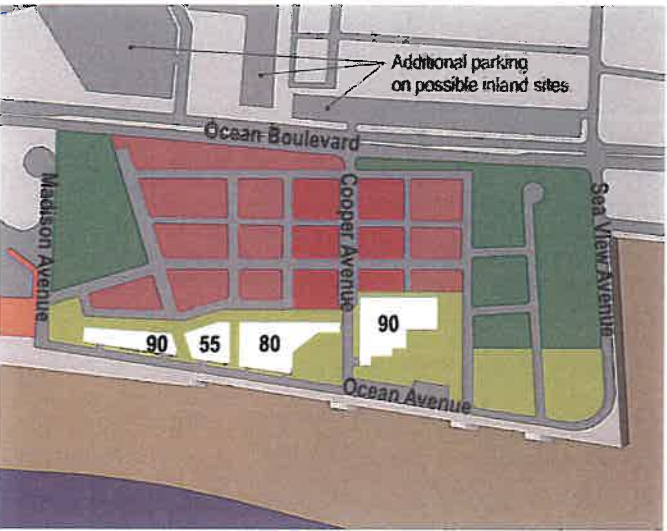
Goal

Beachfront North is planned to be an urban beach-side community, integrated with high amenity beachfront recreational activities. Compared to an existing density of about 5 du/ acre, this plan requires new development to a minimum threshold density of 15 du/ acre, in order to achieve a critical concentration of users and services to support a year-around community.

| Rules | | Density | Maximum building coverage | Minimum pervious coverage |
|--|--------------------------------|---|--------------------------------------|--------------------------------------|
|  | Beachfront Recreation | i. FAR (with surface parking) 0.15. ¹⁾ | 20% of the tract area. ³⁾ | 10% of the tract area. ⁶⁾ |
|  | Planned and Infill Residential | i. Minimum : 12 du/ acre. ii. Maximum: 15 du/ acre. (minimum size of dwelling= 800 sf.) | 55% of tract area. ⁴⁾ | 15% of tract area. ⁶⁾ |
|  | Residential-Commercial Mix | i. FAR (with surface parking) 0.50. ²⁾ ii. FAR (with structured parking) 1.00. | 45% of tract area. ⁵⁾ | 15% of tract area. ⁶⁾ |

1) FAR may be increased to 0.25. Refer to Incentives section (Beachfront North Page 9).
2) FAR may be increased to 0.60. Refer to Incentives section (Beachfront North Page 9).
3) Maximum building coverage may be increased to 25% for amenities in accordance with Incentives Section (Beachfront North Page 9).
4) Maximum building coverage may be increased to 60% for amenities in accordance with Incentives Section (Beachfront North Page 9).
5) Maximum building coverage may be increased to 50% for amenities in accordance with Incentives Section (Beachfront North Page 9).
6) The following are recognized pervious landscape treatments. Pervious coverage treatments must be accompanied by planting requirements. Refer to Landscape section, (Beachfront North Page 8).
i. 100% of mandatory buffers and setback landscape, including area under street planting.
ii. 100% of pervious landscaping and water retention features.
iii. 75% of grass block pavers or open faced pavers set in sand in parking/ service areas.
iv. 100% of areas under gravel, stabilized stone dust, without an impervious base layer.
v. 25% of areas paved with brick set in sand (without an impervious base layer).

Parking



Location of Required Public Parking Spaces
Required off-street public parking: 315 spaces
Possible off-street public parking: 66 spaces

Rules

- i. Non-accessory parking is permitted on an interim basis, on Cooper Avenue fronting sites only.
- ii. Metered on-street parking should be created on commercial frontage streets.
- iii. Parking on residential streets should be permitted exclusively for residents.
- iv. 315 spaces of Public parking will be added to meet parking requirements of beachfront recreational uses.
- v. All off-street parking lots in the beachfront recreation zone, and non-accessory parking facilities on Cooper Avenue, must be available for public use.
- vi. Required parking for additional non-residential uses may be acquired through a variance/ special permit process (i.e. through parking demand management on off-street lots outside this sector).
- vii. Parking requirements for residential uses is 2 spaces per unit, of which 1 space is permitted on-site, and the remaining space must be provided on-street.

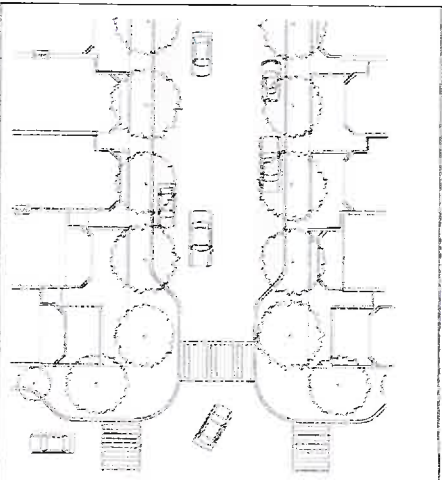


Diagram 1
Typical Frontage Residential Street Layout:
Residential area, on-street parking component is 1 space/ 20 feet of frontage.

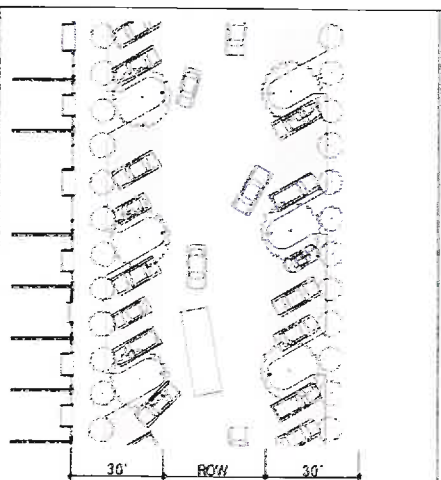


Diagram 2
Typical Parking Layout on Cooper Avenue:
Commercial on-street parking component may be 1 space/ 10-12 feet of frontage.

Goals

To accommodate a wide variety of beachfront recreation uses with heavy peak parking demands.

To enhance public access to the beach.

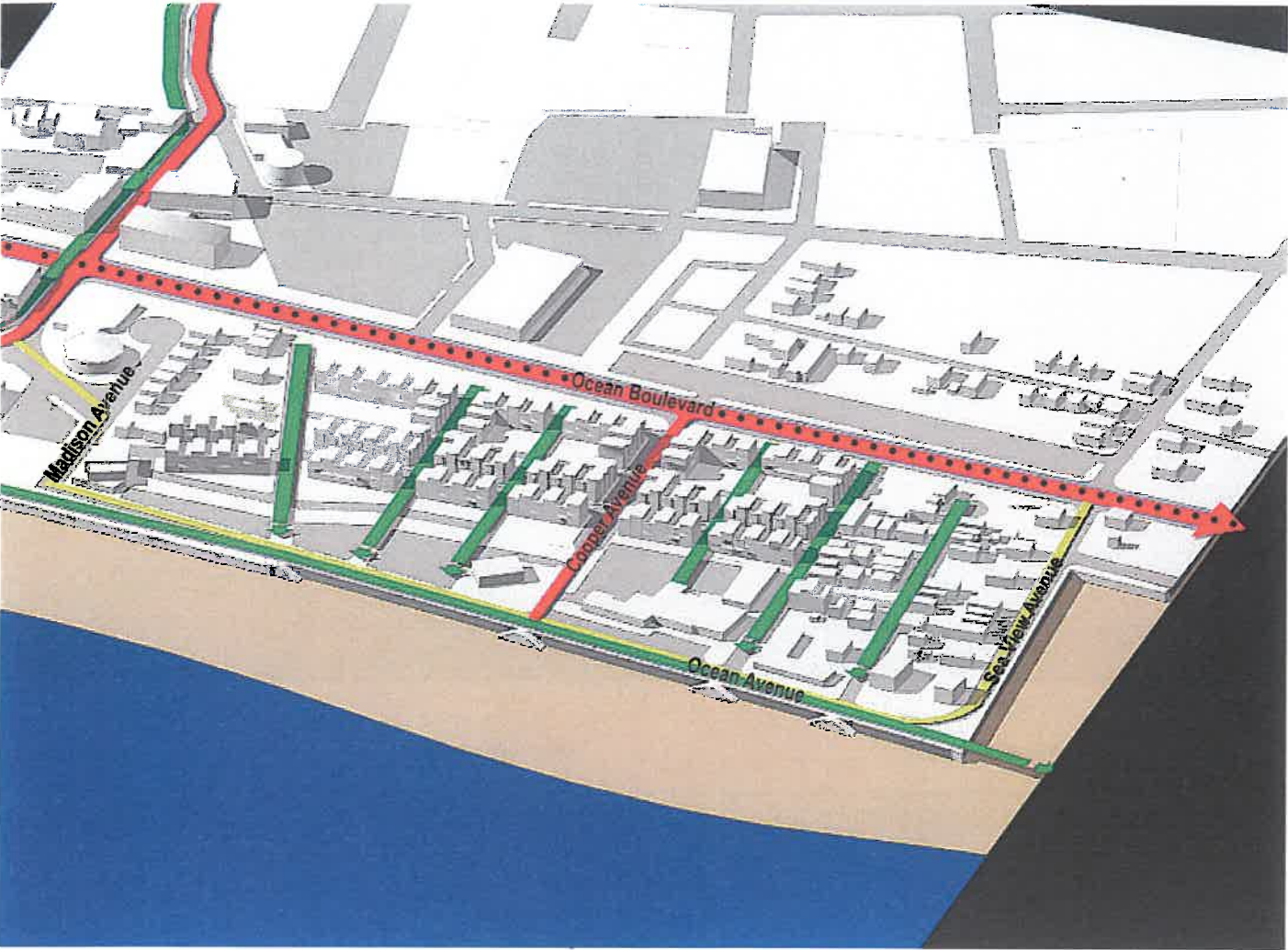
Rationale

To reduce the amount of parking required through a shared inventory of off-street spaces.

To permit complementary recreational uses to share parking spaces in an adjoining sector.

| | Required Parking Spaces | On-Street (Short Term) Parking Component | Off-Street (Long Term) Parking Component |
|--|---|--|--|
| <div></div> Beachfront Recreation | <ul style="list-style-type: none">i. 7 parking spaces per 1,000 sf. of active recreational and accessory uses. | <ul style="list-style-type: none">i. No on-street parking is permitted. | <ul style="list-style-type: none">i. All required parking must be satisfied on-site, in the same development tract, or on designated inland parking lots in the Broadway Gateway sector, with consent of the city. |
| <div></div> Planned and Infill Residential | <ul style="list-style-type: none">i. 2 parking spaces per du for residential development. | <ul style="list-style-type: none">i. 1 space per du on any street in this zone. See diagram 1 above. | <ul style="list-style-type: none">i. 1 off-street public parking space allowed. (1 space per du on site maximum) |
| <div></div> Residential-Commercial Mix | <ul style="list-style-type: none">i. 4 parking spaces per 1,000 sf. of commercial development.ii. 1 parking space per du for residential development and hotels/ motels. | <ul style="list-style-type: none">i. 1 parking space/ 10-12 feet of Cooper Avenue frontage is permitted.¹ All remaining parking requirements must be satisfied on-site. | <ul style="list-style-type: none">i. All (residential and commercial) parking requirements must be satisfied on-site. |

¹ Parking spaces for commercial uses may be satisfied on-street, provided the developer cedes 30 feet of setback for diagonal parking integrated with the R.O.W. Refer to diagram 2 above.



Access Diagram

Goals

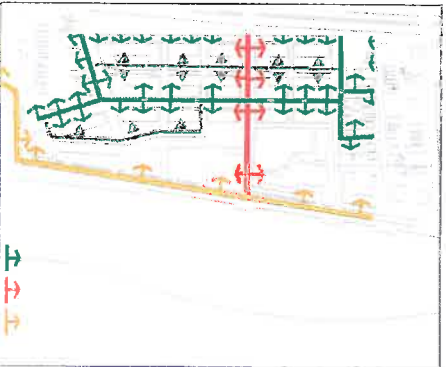
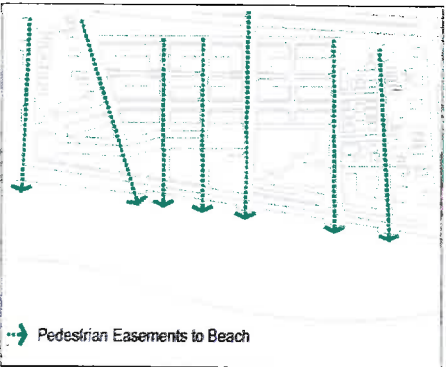
To accommodate a variety of potential high-demand commercial and entertainment uses, as well as cohesive residential development on inland blocks.
To enhance neighborhood/ public access to the beach.

Rationale

To discourage through-traffic in the residential portions of this sector.
To improve operation and safety for Ocean Boulevard traffic.
To encourage pedestrian access throughout the sector.

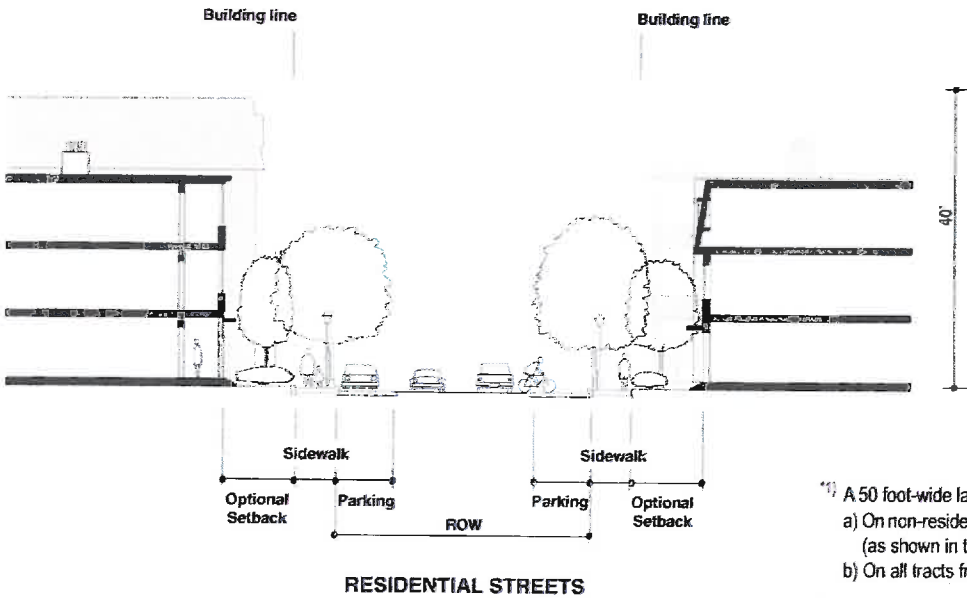
Rules

- i. In no case shall direct access be permitted from Ocean Boulevard. No curb cuts shall be permitted on Ocean Boulevard.
- ii. On-site parking and service alleys which may serve more than one tract must be located in the rear of residential and commercial development. If adjoining tracts provide a shared access to parking through a mid-block alley so that the entire block shares a single curb cut, all tracts shall receive an additional bonus ground coverage. (Refer to incentives section, Beach Front North Page- 9).
- iii. Primary access (front doors) for residential units are required from a residential street. No garages or services are permitted fronting residential streets.
- iv. Event-specific on-street parking should be permitted on Ocean Boulevard.
- v. Bicycle and pedestrian access is aided by means of well-enforced speed restrictions on access and commercial frontage streets, frequent and clearly demarcated crosswalks, pedestrian-oriented lighting, appropriate street furniture (e.g. benches, informational kiosks and planting), plus street-fronting retail and mid-block passageways for parking and beach access.
- vi. The construction and dedication to public use of a 10-foot-wide pedestrian/ bicycle accessible easement perpendicular to the bulkhead is required for all Residential zone tract development with frontage wider than 200 feet (measured parallel to the bulkhead line). Connection with abutting easements is required for subsequent property developers. (Refer to Siting and Landscape Section, Page Beach Front North Page- 8).
- vii. In no case shall a tract be permitted more than two cuts from streets where access is permitted.
- viii. No streets will be closed to pedestrian access.



| | Street Names | Recommended driveway spacing |
|---|---|--|
| <div>• • •</div> Regional Artery | • Ocean Boulevard | Access prohibited. No new curb cuts permitted. |
| <div></div> Commercial Frontage Street (primary vehicular circulation) | • Cooper Avenue | 180 ft. or greater. |
| <div></div> Residential Frontage Street (includes pedestrian circulation) | • Ocean Terrace • North Broadway • Madison Avenue | Ideally 125 ft. apart (should be no more than 2 per block on each side of the street) Located either as intersection with minor street or more than 50 ft. from nearest intersection. |
| <div></div> Oceanfront Drive (vehicular and pedestrian Beachfront Recreation Access) | • Ocean Avenue | 180 ft. apart or more (should be no more than 1 per block on each side of the street) |

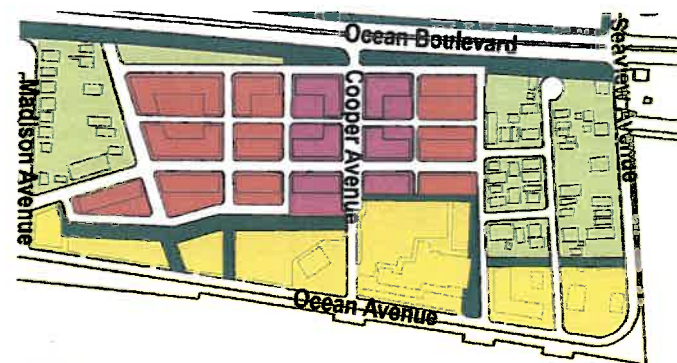
Building Envelope



- ¹⁾ A 50 foot-wide landscape buffer is required in the following cases:
a) On non-residential tracts, between residential and non-residential use zones (as shown in the siting and landscape plans, Beachfront North page 8).
b) On all tracts fronting Ocean Boulevard.
- ²⁾ Side setbacks are permitted where deeded pedestrian easements are required.
- ³⁾ Architectural features such as pitched roofs, gables, domes, steeples, stacks, stair cores, cornices, bris-soliel, roof decks, etc. may project beyond the permitted height envelope.
- ⁴⁾ The distance between a permitted structure from the western curbed edge of the promenade must be at least twice the height of the structure.

| Street | Front Setback | Side Setbacks | Building Lines | Bulk | Height |
|--|--|---|---|--|--|
| a) Cooper Avenue i. Residential-Commercial Mix Zone | 20 feet is required to accommodate short term parking drop-off's integrated with street. (Refer to Parking Section Beachfront North Page 5). | Side setbacks prohibited. ^{1), 2)} | 10 ft. from new ROW line. Continuous unbroken frontage required. | 100% of building bulk must fall within 80 ft. of new ROW line. | 40 ft. (may be increased to a maximum of 60 ft. for amenities. Refer to incentives section. (Beachfront North Page 9). ^{3), 4)} |
| ii. Beachfront Recreational Zone | | Side Setbacks must total a minimum of 30% of tract frontage on Ocean Avenue. ^{1), 2)} | | Free standing or pavilion-like structures are encouraged. | 30 feet. ^{3), 4)} |
| b) Ocean Avenue | 20 feet from ROW line. | Setbacks must total a minimum of 30% of tract frontage on Ocean Avenue. ^{1), 2)} | | Free standing or pavilion-like structures are encouraged. | 30 feet. ^{3), 4)} |
| c) Residential Streets i. Madison Avenue ii. North Broadway iii. Grant Street iv. Ocean Terrace v. Seaview Avenue vi. Grinker Place | Up to 10 feet. | i. Infill Residential Zone: - A zero lot line development without side setbacks is encouraged. ^{1), 2)} - Side setbacks may be no greater than 20% of the frontage of a tract. ii. Planned Residential Zone: - Side setbacks prohibited. | A continuous frontage with undulating bay windows suggested. | 80% of building bulk must fall within 50 ft. of ROW lines. | 40 ft. in Infill and Planned Residential zone. ³⁾ |

Siting and Landscape



Goals

Beachfront North envisages a harmonious mix of community and visitor uses. All Ocean Avenue fronting tracts in this sector are reserved for Public Beachfront Recreation uses. All tracts with non-residential uses are required to provide well landscaped buffers, so as to not impinge on the residential community.

The goals for the beachfront-side community include quiet residential streets with frequent residential entrances, and "eyes on the street", transitional architectural elements such as bay windows, porches, balconies and overhangs that separate private and neighborhood zones. Deeded pedestrian ways are intended to enhance access to the boardwalk and beach.

Land-optimizing site organization is required, to reduce unproductive use of land by combining parking, service ways and utilities in the rear or in block interior.

1. Siting

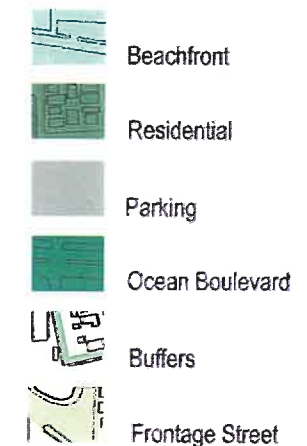
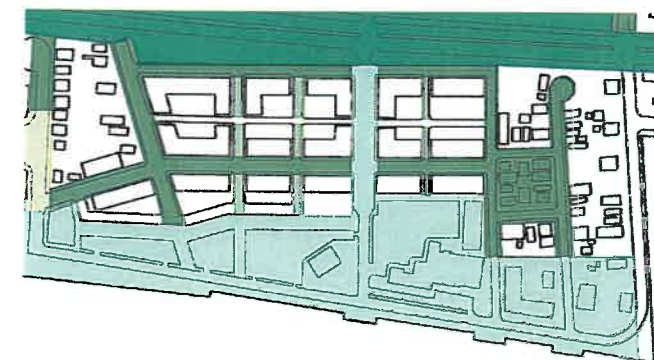
- The structures in the Beachfront recreation zone are intended to be free standing "pavilion"-like structures, served by large on-site shared parking lots.
- Semi-enclosed spaces such as balconies and porches, terraces above the ground level, and roof decks are recommended. (Refer to Incentives Section Beach Front North Page 9).
- Main building entrances must face Ocean Avenue and/ or a perpendicular side street.
- In no case shall vehicular access (and curb cuts) be permitted to any development tract or site from Ocean Boulevard.
- Each development tract with an Ocean Avenue or beachfront is required to provide a deeded public pedestrian and bike easement of 10 foot width at intervals no greater than 200 ft. (measured perpendicular to Ocean Avenue). The easement may be shared equally by two adjoining tracts at their common property line.*
- Each Residential Zone is required to provide a deeded pedestrian and bike easement of 10 feet width at intervals no greater than 200 feet (measured perpendicular to the bulkhead). The easement may be within the setback and may be shared equally between two adjoining tracts at their common property line.*
- The site plan must be designed to maximize the utility of mandatory setbacks and easements.
- Service alleys or mid-block parking lots are required for all developments in the residential zone.
- Beachfront buildings are encouraged to maximize ocean views.
- No buildings, enclosed structures, or signage which impairs visual access shall be permitted on or over existing right of ways.

2. Planting

- At least 5% of each tract area must be planted with native species of trees. This may be satisfied by planting in buffer areas, and on side walks and parking lots undertaken by a developer.*
- Additionally, at least 5% of the site must be planted with native species of shrubs. This may be satisfied by planting in buffer areas, and on sidewalks and parking lots undertaken by a developer.*
- Parking lots must be planted with shade trees at the rate of 1 tree per 6 parking spaces.*

3. Buffers

- Landscaped buffers are required between parking, other nonconforming uses, and residential uses.*
- Required setbacks between adjacent buildings of the same use category: None; subject to mitigation of shadows, light and easements, and City fire and building codes.
- Required setbacks between adjacent buildings with incompatible uses (from different use categories): 50-foot landscaped buffer.*
- A 50-foot landscape buffer is required in the following cases:
 - On non-residential tracts, between residential and non-residential use zones.
 - On all tracts fronting Ocean Boulevard.



4. Paving

- Grass block paving, open faced paver, gravel, shells or stabilized stone dust are encouraged in parking lots to minimize impervious surfaces.* (Refer also Density and Ground Coverage section, Page 4).
- The driving lane and handicapped parking spaces in each parking lot must be paved with an impervious surface such as asphalt, brick or concrete pavers, which make an easily accessible way in inclement weather.

5. Utilities

- Service and utility rooms including transformers, meter and junction boxes and dumpsters must be located away from public R.O.W's. and adjoining residential uses must be appropriately shielded by landscaping to avoid visual/ physical intrusion.
- If two adjacent tracts share a single service access and curb-cut, they are permitted to locate a service area within a common setback, provided it is well landscaped and shielded from view. In no other case shall such utilities be permitted to be located within a designated setback or buffer.
- Location and design of utilities and services must conform to City fire and building codes.

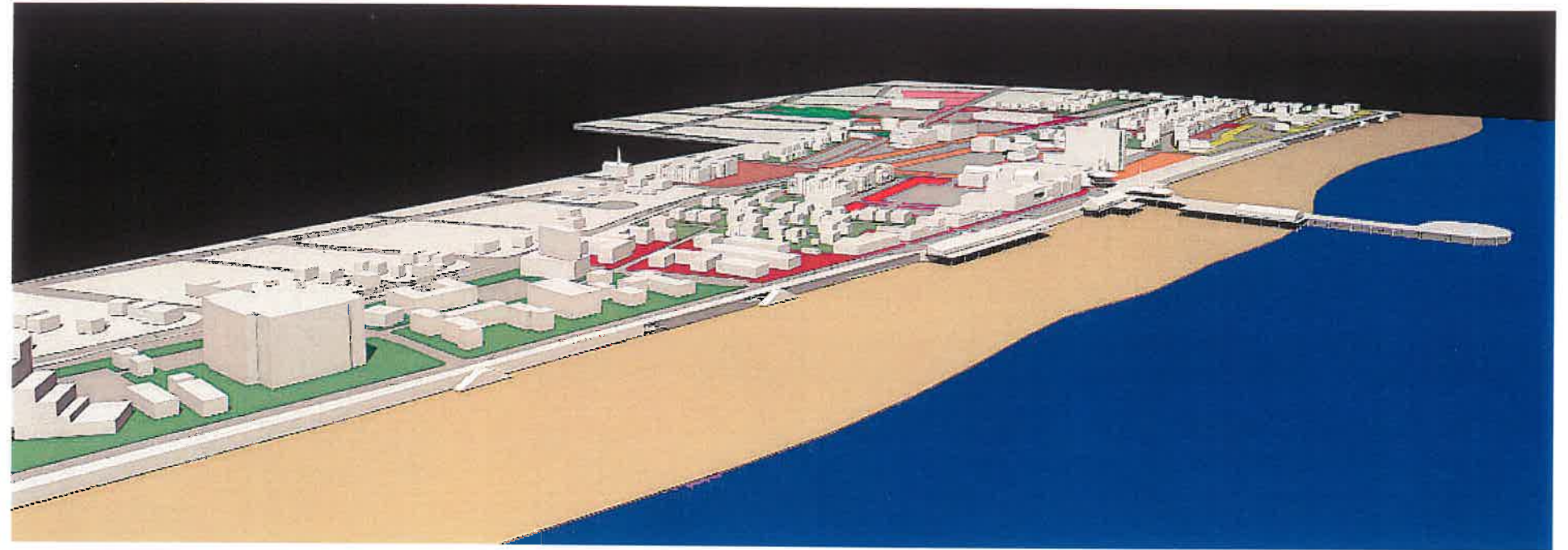
- All storm water management systems will meet the requirements of the Freehold Soil Conservation District with respect to soil erosion and sedimentation control and DEP rules with respect to storm water management in 7:7E-8.7.
- All publicly accessible areas (inclusive of parking lots and easements) should be illuminated at an **average minimum illumination of 1.2 foot candles**, which is to be integrated with the landscape. Lighting should be incandescent or approved equivalent white light (such as metal halide) mounted on approved pedestrian standard or bollard. High pressure sodium lamps are not permitted.

* Refer to Landscape Section of General Design Guidelines Page- 9

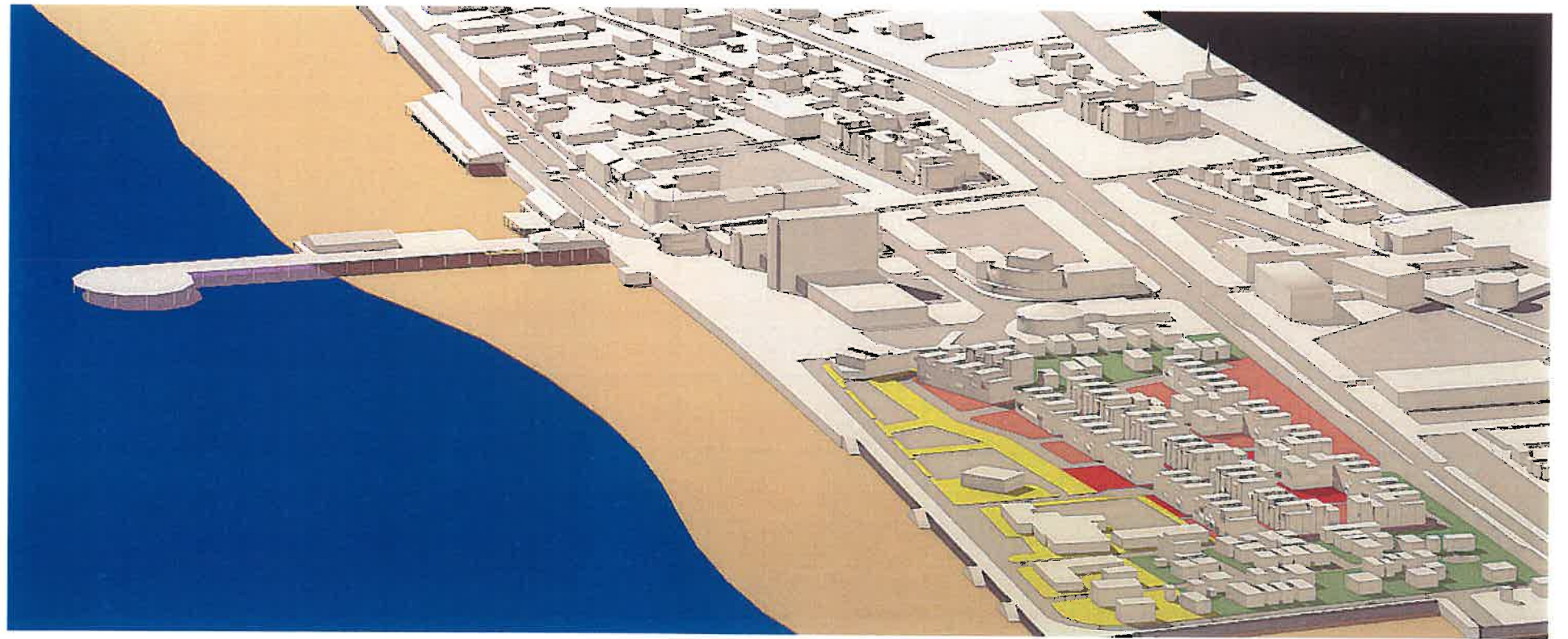
Incentives

Special bonuses are awarded for the inclusion/ provision of the following publicly accessible amenities:

- i. The developer shall be permitted a bonus Building Ground Coverage of up to 5% beyond what is otherwise permitted (refer to page 4 of this document), if for each estimated increase in \$1 assessed value, a developer pays \$0.40 linkage fee to provide and install the following amenities:
 - Street furniture, approved by the Design Review Committee, such as benches, trash cans, pedestrian signage and lighting, bollards, etc.
 - Publicly accessible restrooms.
 - Community rooms/ Public event space.
- ii. The developer shall be permitted a bonus FAR of 0.1 beyond what is otherwise permitted, if for each estimated increase in \$1 assessed value, a developer pays \$0.50 linkage fee to provide and install the following amenities:
 - Sidewalk upgrading, undertaken by the City.
 - Shade/ shelter/ bandstand structure, approved by the Design Review Committee.
 - Brick paved crosswalks across Ocean Ave. to the boardwalk, undertaken by the City.
 - Integrated Directional Signage, undertaken by the City.
 - Improvements to deeded pedestrian ways and easements.
 - Creation of combined 'gateways' for each block in the sector from a side street by planting hedges, lawns and permanent address directories. (Work to be undertaken by developers upon agreements with adjoining tracts in a block, and the Design Review Committee.)
 - Public Art on Public R.O.W., approved by the Design Review Committee.
 - Beach and Boardwalk Improvements, approved by the Design Review Committee.
 - Redevelopment Area Maintenance Fund.
- iii. The developer shall be permitted a bonus additional FAR (without additional parking being required) of up to 0.10 for:
 - Balconies, porches and terraces. The FAR bonus shall be equal to twice the area of porches and balconies provided, up to 0.10.



Possible build out in the redevelopment zone: Coordinated public and private investments on sites and in public realm shall enhance the value of the entire zone.



Beachfront North's low rise beach-side community will benefit from strong connections to public and private investments on the beach and boardwalk, promenade, Ocean Boulevard, pier and adjoining structures.